



CITY OF ST. PETERSBURG, FLORIDA
PLANNING AND DEVELOPMENT SERVICES DEPARTMENT
URBAN PLANNING AND HISTORIC PRESERVATION DIVISION

STAFF REPORT

Community Planning and Preservation Commission Certificate of Appropriateness Request

Report to the Community Planning and Preservation Commission from the Urban Planning and Historic Preservation Division, Planning and Development Services Department, for Public Hearing and Executive Action scheduled for **Tuesday, January 10, 2023, beginning at 2:00 p.m.**, in Council Chambers of City Hall, 175 Fifth St. N., St. Petersburg, Florida. Everyone is encouraged to view the meetings on TV or online at https://www.stpete.org/connect_with_us/stpete_tv.php.

According to Planning & Development Services Department records, no Commission member or his or her spouse has a direct or indirect ownership interest in real property located within 2,000 linear feet of real property contained with the application (measured in a straight line between the nearest points on the property lines). All other possible conflicts should be declared upon the announcement of the item.



Case No.: 22-90200119
REQUEST: Review of a Certificate of Appropriateness application for a new single-family house and a garage with an ADU at 2101 3rd Ave N, a vacant lot in a local historic district. This application includes a FAR bonus request of .1 FAR.
ADDRESS: 2101 3rd Avenue North
OWNER: TRB DEVELOPMENT ENGLEWOOD LLC
APPLICANT: Jonathan Meyer, Owner
LOCAL LANDMARK: Kenwood Section – Southeast Kenwood Local Historic District (18-90300001)

PARCEL ID NO.: 24-31-16-11808-009-0090
LEGAL DESCRIPTION: BRONX BLK 9, LOT 9
ZONING: NT-2

Historic Significance and Existing Conditions

Historic District Designation and Significance

The *Kenwood Section – Southeast Kenwood Local Historic District* (the “subject district”) was listed in the St. Petersburg Register of Historic Places on June 14, 2018. The local district lies entirely within the boundaries of the *Kenwood National Register Historic District* (“the National Register district”), which was designated by the National Park Service in 2003.

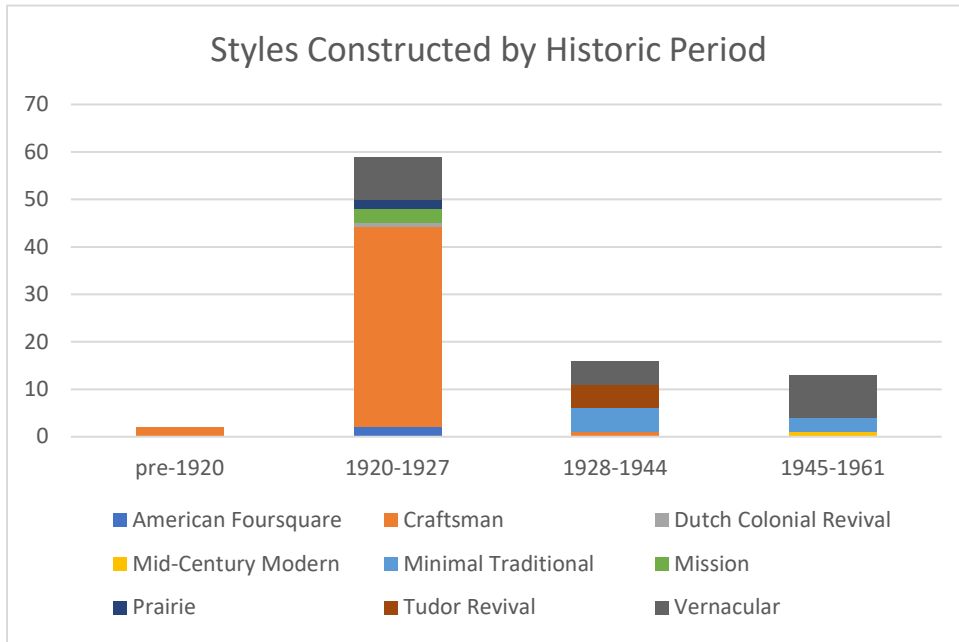
The neighborhood now known collectively as Kenwood was developed rapidly during the 1920s, with many of the houses being constructed by speculative builders. Within the Southeast Kenwood district, 59 of the 90 contributing primary residences were constructed between 1921 and 1927, including three (3) apartment buildings and 56 single family residences. The vast majority of these resources exhibit the Craftsman architectural style that has become nearly synonymous with the name “Kenwood;” the second-most prevalent style (or lack thereof) tends to be vernacular cottages which don’t follow a formal architectural aesthetic, but many of these, still, feature references to the Craftsman movement in their form and massing.

The Southeast Kenwood district contains a selection of architectural styles that were fashionable during the area’s early twentieth-century development, but a plurality of them is classified in the Craftsman style. Of the 90 contributing primary buildings, 45 exhibit the Craftsman style, two (2) the American Foursquare style, one (1) each display the Dutch Colonial Revival and Mid-Century Modern styles, eight (8) are Minimal Traditional, three (3) are Mission style, two (2) are Prairie style, five (5) are Tudor Revival, and 23 are vernacular, meaning that they do not necessarily exhibit a formal architectural style but reflect common materials and design and construction processes for their time. The primary structures classified as vernacular in this district could be separated into two main resource groups: pre-war Frame Vernacular and post-war Masonry Vernacular.

The parcel at 2101 3rd Avenue North (the “subject property”) is presently vacant, but used to have a one-story Craftsman style house (Figure 1), constructed circa 1922 and was listed as a contributing property to both the local district and the National Register district. The house at 2101 3rd Ave N. was demolished in 2018 after it was condemned. The structure was approximately 1558 square feet, which may have included the garage, according to the demolition permit that was issued.



Figure 1: The structure at 2101 3rd Ave N before it was condemned and demolished in 2018.



Of the 81 contributing single-family residences within the district, 73 (or about 90 percent) are one (1) or 1.5 stories; the remaining eight (8) houses are two stories. There are nine (9) multi-family buildings, which are fairly evenly divided with four (4) duplexes being one story in height, and the remaining five (5) multi-family buildings featuring two stories. Most of these two-story, single-family homes are clustered in the 2100 block face of Burlington Ave N.



Figure 2: Representative streetscapes of the 2100 block face of 3rd Ave N.

The 2100 block face of 3rd Ave N is primarily made up of one-story structures, with 2100 3rd Ave N considered a 1.5 story building, although staff believes the half story is converted attic space. There are no two-story structures facing 3rd Ave N in the local district, as shown in Figure 3.

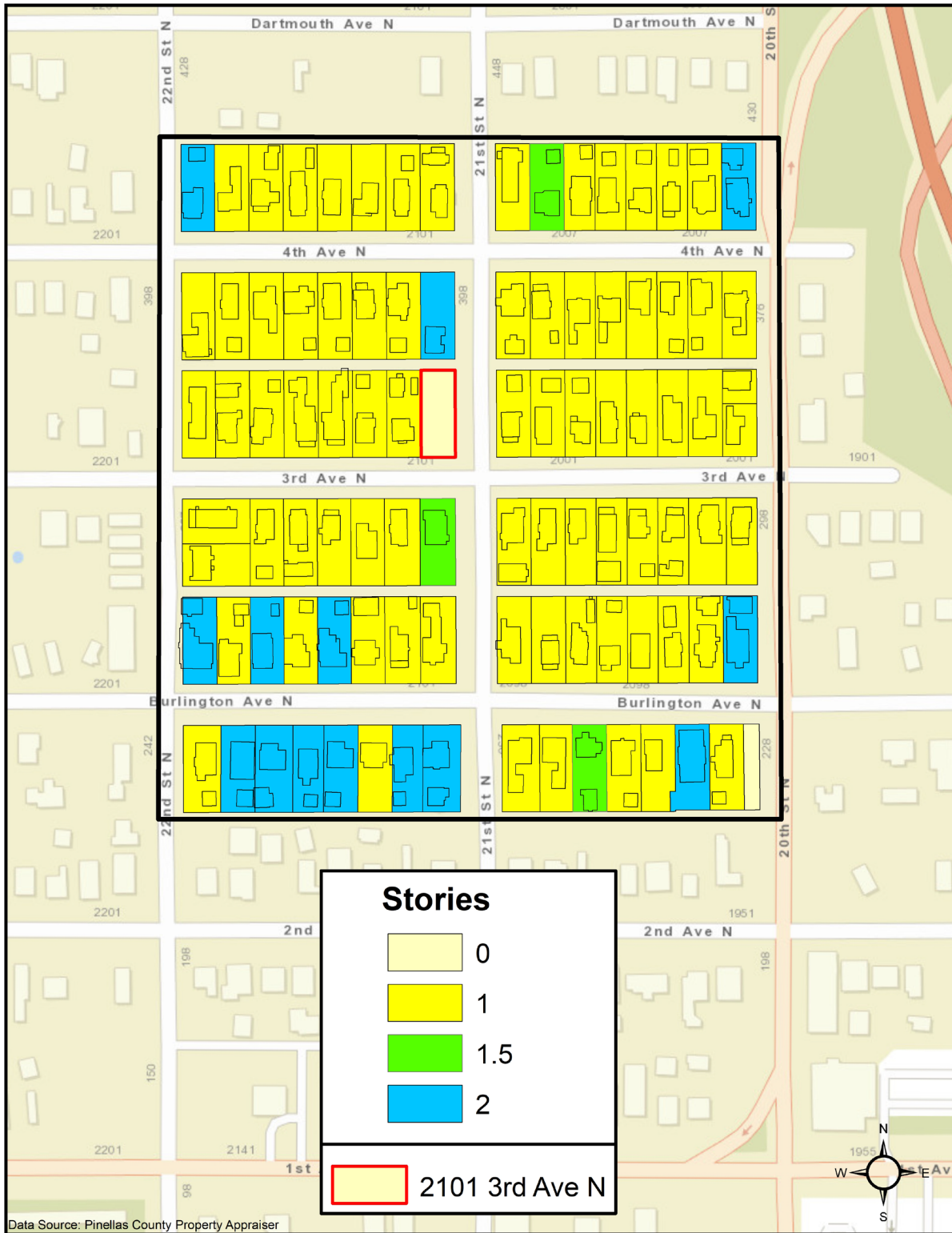


Figure 3: Map showing the primary building stories of the Southeast Kenwood district. Seven of the eight two-story single-family homes are clustered in the 2100 block face of Burlington Ave N. The other two-story house is located at 2159 4th Ave N. The rest of the two-story structures are multi-family buildings, including a triplex garage apartment building at 330 21st St N, which is located behind the subject property.

Criteria for Granting Certificates of Appropriateness

City Code section 16.30.070.2.6 (part of the *Historic and Archaeological Preservation Overlay*), provided in full in Appendix B, details the process by which exterior changes, including new construction and alterations, to local landmarks and properties within local landmark districts, shall be reviewed through application for Certificates of Appropriateness (COAs). Per Code, this review shall be limited to exterior changes and is required in addition to any other building permits required by law. In the case of new construction within a local historic district, a proposal is measured both against the *General Criteria for Granting a COA*, and the *Additional Guidelines for New Construction* identified within the above-referenced *Overlay*.

The first application (COA 22-90200051) for a new single-family house with detached garage was submitted to the Urban Planning and Preservation Division on April 26, 2022. The application was denied by CPPC on August 9, 2022. After meeting with staff after redesigning the plans, the applicant submitted a new application (COA 22-90200119) on November 11, 2022, for a new single-family house with a garage ADU in the rear.

Pursuant to City Code Section 16.70.010.8 regarding successive applications, "...the same or a substantially similar application shall not be accepted by the POD [Manager, Urban Planning and Historic Preservation Division] within 18 months following the action of the Commission on the earlier application unless the applicant demonstrates that there has been a substantial change of conditions or character of the surrounding land area or the land in question." In this instance, the POD has determined that the new application is a *substantial* building redesign that adequately addresses the concerns expressed in the original staff report and related CPPC public hearing on August 9, 2022.

Project Description and Review of COA

Project Description

The COA application (Appendix A) proposes a dwelling that is two stories in height, but reads as a one-and-a-half story structure of 2,370 square feet with a garage ADU that has 1,319 square feet. The total square footage will be 3,689, but because of the 500 SF reduction allowance for rear ADUs in LDR Section 16.20.010.5, the square footage used for calculating floor area ratio (FAR) is 3,189 square feet, which equals an FAR of .50 and an FAR bonus request of .10.

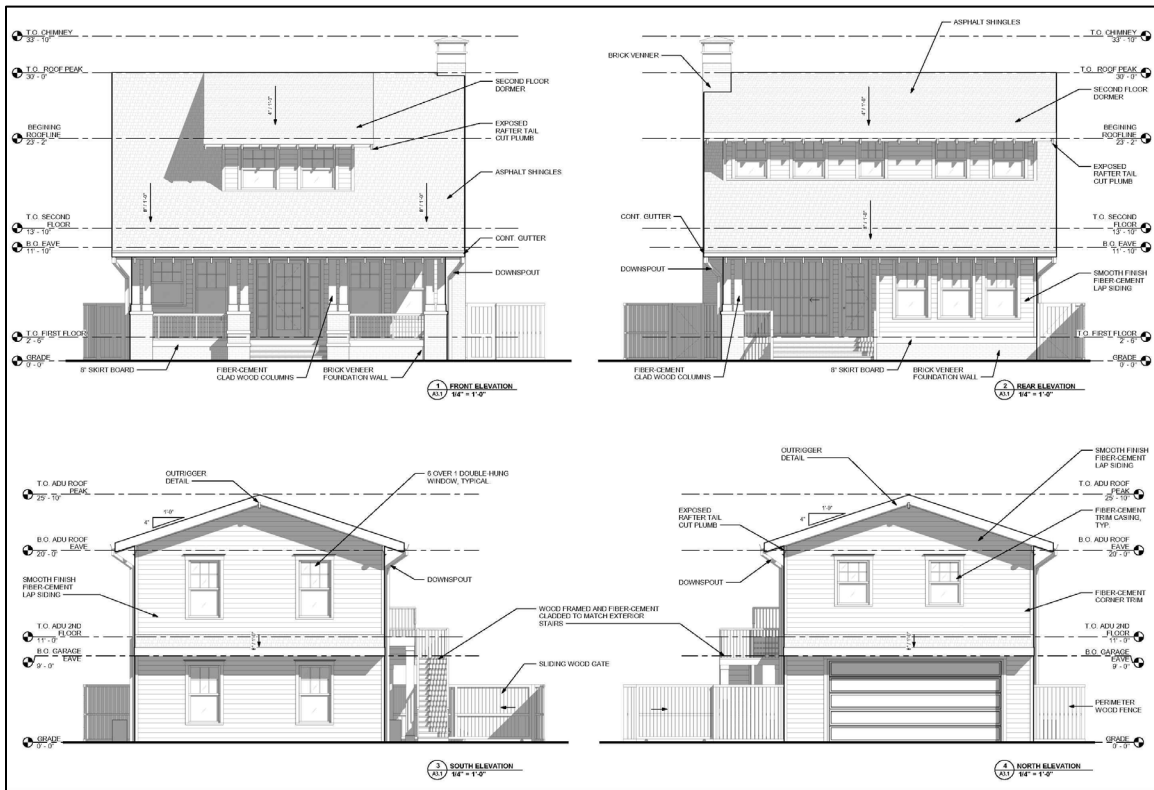


Figure 4: Front and rear elevations of proposed house and garage ADU.

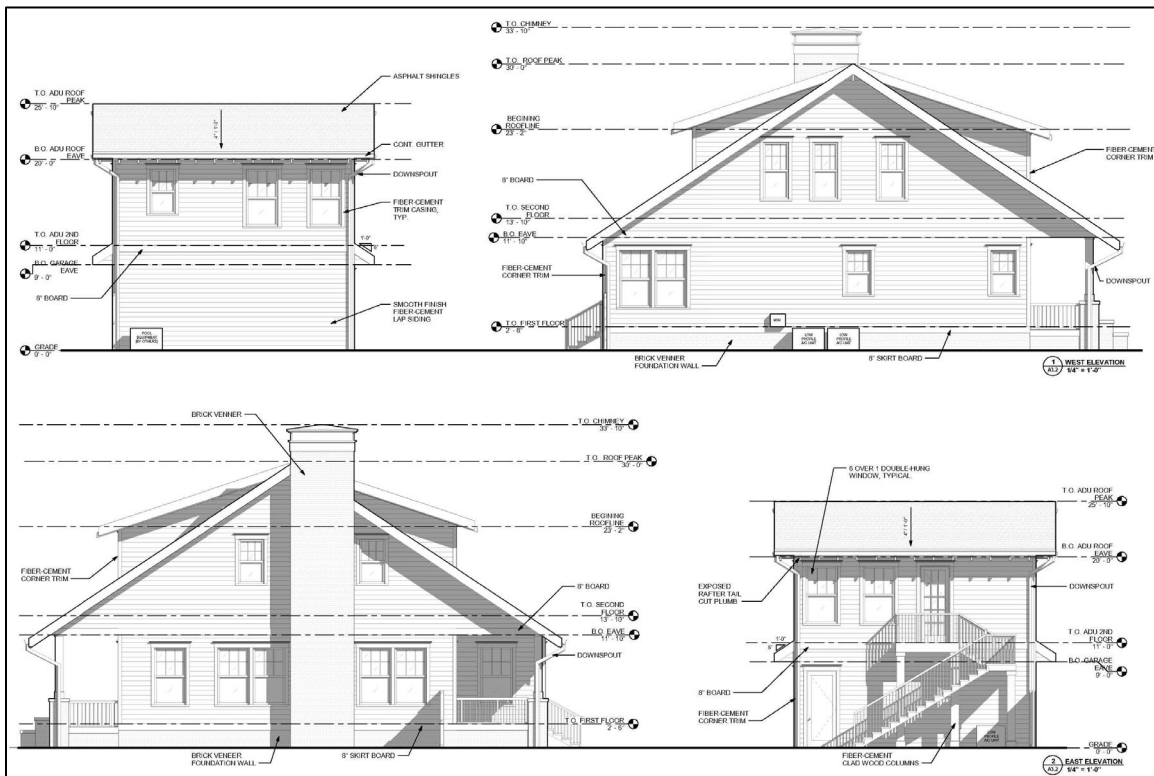


Figure 5: Proposed side elevations of the project.

Staff suggests that the following elements of the proposed building be closely considered by the Commission in their review, as features that most closely define its relationship with the historic district:

- Two-story house with detached garage apartment;
- Orientation toward narrow side of parcel;
- Total width of primary residence is 33 feet by total length 44 feet on the first floor (this includes a covered lanai area on the streetside elevation);
- The second-floor length is 33 feet wide by 30 feet long (this does not include a front dormer bumpout);
- Primary structure's total height is proposed to be 30 feet from grade with finished floor elevation at 2 feet, 6 inches above grade;
- The garage apartment building will be 26 feet wide by 25 feet, 4 inches long with a height of 25 feet, 10 inches;
- Fiber cement lap siding on the exterior façade;
- House will utilize an asphalt shingle roof in a side gable form with a front and rear shed roofed dormers;
- Aluminum six-over-one sash windows;
- 15-light, single action front door with no sidelights;
- Perimeter, 6-foot tall, vertically oriented wood fence; and
- Swimming pool (to be built by others) located behind the principal structure.

2100 Block of 3rd Ave N Comparison				
Property	Type	Style	Primary Structure SF	FAR*
2110 3rd Ave N	Single Family	Craftsman	1082	0.16
2126 3rd Ave N	Single Family	Craftsman	1132	0.19
301 22nd St N	Duplex	Masonry Vernacular	1113	0.21
2120 3rd Ave N	Single Family	Non-Contributing	1031	0.22
2142 3rd Ave N	Single Family	Craftsman	972	0.23
2158 3rd Ave N	Duplex	Masonry Vernacular	1350	0.23
2143 3rd Ave N	Single Family	Craftsman	1180	0.24
2134 3rd Ave N	Single Family	Craftsman	1258	0.26
2100 3rd Ave N	Single Family	Craftsman	1775	0.27
2109 3rd Ave N	Single Family w/ detached structure	Craftsman	1224	0.28
2121 3rd Ave N	Single Family w/ 2 story garage	Craftsman	1366	0.28
2135 3rd Ave N	Single Family	Craftsman	2161	0.37
2127 3rd Ave N	Single Family	Craftsman	2286	0.39
2155 3rd Ave N	Single Family w/ 2 story garage	Craftsman	1633	0.39
Average:			1397	.27
<i>Proposed 2101 3rd Ave N</i>	<i>Single Family w/ 2 story garage</i>	<i>Craftsman</i>	<i>2370</i>	<i>.60</i>
*FAR calculation does not include any allowances, such as the 500 SF reduction for rear ADUs				

Southeast Kenwood Contributing, Two-Story, Single Family Home Comparison					
Property	Style	Second Floor Dimensions	Ratio of 2 nd Floor to 1 st Floor	Primary Structure SF	FAR*
2143 Burlington Ave N	Craftsman	28 W x 29 L	0.44	1986	0.37
2159 4th Ave N	American Foursquare	30 W x 30 L	0.49	1849	0.39
2134 Burlington Ave N	Dutch Colonial Revival	28 W x 31 L	0.43	1918	0.4
2130 Burlington Ave N	Prairie	38 W x 28 L	0.50	2128	0.41
2125 Burlington Ave N	Craftsman	25 W x 28 L	0.42	1977	0.42
2110 Burlington Ave N	Craftsman	28 W x 30 L	0.44	1945	0.45
2142 Burlington Ave N	Prairie	38 W x 28 L	0.50	2128	0.46
2100 Burlington Ave N	Frame Vernacular	38 W x 28 L	0.46	2014	0.5
Average:		32 W x 29 L	.46	1993	.43
Proposed 2101 3rd Ave N	Craftsman	33 W x 30 L	.45	2370	.60
*FAR calculation does not include any allowances, such as the 500 SF reduction for rear ADUs					

General Criteria for Granting Certificates of Appropriateness and Staff Findings

1. *The effect of the proposed work on the landmark or the property upon which such work is to be done.*

Consistent The application proposes a two-story, single-family house that is 2,370 square feet and a detached garage apartment that is 1,319 square feet. When incorporating eligible square footage reduction allowances, the proposed floor area ratio (FAR) is calculated at .50, including a FAR bonus request of .10. While two-stories, the form of the principal structure is designed in a way that the building would appear to be 1.5 stories.

While the tables above do show that the proposal is still significantly larger than the other structures on the block, the new structure will be more compatible with the two-story structures in the district from a square footage standpoint. The applicant has also made design changes that reduces the massing of the primary structure – utilizing a side gable roof with front and rear dormers, reducing ceiling heights, and shifting square footage to the rear garage apartment building.

2. *The relationship between such work and other structures on the landmark site or other property in the historic district.*

Consistent The proposal will be more visually compatible with the other contributing resources in the district. As discussed above, while the proposal is larger and taller than the surrounding structures, the design is compatible with the predominant characteristics of a district and the adjacent properties.

3. *The extent to which the historic, architectural, or archaeological significance, architectural style, design, arrangement, texture and materials of the local landmark or the property will be affected.*

Consistent The proposal incorporates materials that are typical for this local historic district, such as horizontal lap siding, asphalt shingle roofing, and wood perimeter fencing.

4. *Whether the denial of a Certificate of Appropriateness would deprive the property owner of reasonable beneficial use of his or her property.*

**Information
not provided**

5. *Whether the plans may be reasonably carried out by the applicant.*

Consistent There is no indication that this proposal cannot be carried out.

6. *A COA for a noncontributing structure in a historic district shall be reviewed to determine whether the proposed work would negatively impact a contributing structure or the historic integrity of the district. Approval of a COA shall include any conditions necessary to mitigate or eliminate negative impacts.*

Consistent The proposal would create a new single-family development in the middle of a local historic district that is more compatible with adjacent structures. This would be an improvement over a vacant lot.

Additional Guidelines for New Construction

In approving or denying applications for a COA for new construction (which includes additions to an existing structure), the Commission and the POD shall also use the following additional guidelines.

1. *The height and scale of the proposed new construction shall be visually compatible with contributing resources in the district.*

Consistent The new construction is proposed to be 30 feet tall. While most structures in the district are one-story, many two-story structures have a similar height.

2. *The relationship of the width of the new construction to the height of the front elevation shall be visually compatible with contributing resources in the district.*

Consistent The width and height of the front elevation and the streetside elevations are compatible with the other contributing resources in the district.

3. *The relationship of the width of the windows to the height of the windows in the new construction shall be visually compatible with contributing resources in the district.*

Consistent This proposal utilizes traditional six-over-one, sash windows that are appropriately sized for each façade.

4. *The relationship of solids and voids (which is the pattern or rhythm created by wall recesses, projections, and openings) in the front facade of a building shall be visually compatible with contributing resources in the district.*

Consistent The new design incorporates a pattern of windows on the front and streetside façade, following traditional patterns. The proposal also includes a chimney on the streetside that helps to break up the massing and create articulation.



Figure 6: The single-family house at 2101 Burlington Ave N utilizes a one-story articulated massing and brick chimney on the streetside elevation creates a frontage towards the 21st St N. This helps to enhance the pedestrian orientated character of the historic district.

5. *The relationship of the new construction to open space between it and adjoining buildings shall be visually compatible with contributing resources in the district.*

Consistent

6. *The relationship of the entrance and porch projections, and balconies to sidewalks of the new construction shall be visually compatible with contributing resources in the district.*

Consistent

7. *The relationship of the materials and texture of the facade of the new construction shall be visually compatible with the predominant materials used in contributing resources in the district.*

Consistent The proposal utilizes predominant materials found in the district.

8. *The roof shape of the new construction shall be visually compatible with contributing resources in the district.*

Consistent Side gables roof forms are a traditional element of Craftsman design, which is the predominant architectural style in the district.

9. *Appurtenances of the new construction such as walls, gates and fences, vegetation and landscape features, shall, if necessary, form cohesive walls of enclosures along a street, to ensure visual compatibility of the new construction with contributing resources in the district.*

Consistent The proposal includes a perimeter wood fence with a vertical orientation, which is consistent with the contributing resources in the district.

10. *The mass of the new construction in relation to open spaces, the windows, door openings, porches and balconies shall be visually compatible with contributing resources in the district.*

Consistent The new proposal incorporates more traditional massing of the primary structure, incorporates a window rhythm on each façade, and utilizes a traditional Craftsman form of an integrated front porch that is compatible with the district.

11. *The new construction shall be visually compatible with contributing resources in the district in its orientation, flow, and directional character, whether this is the vertical, horizontal, or static character.*

Consistent As stated above, the application proposes a building form that will be compatible with the other two-story structures in the district.

12. *New construction shall not destroy historic materials that characterize the local landmark or contributing property to a local landmark district. The new construction shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the local landmark and its environment, or the local landmark district.*

Consistent As discussed earlier in the staff report, the proposal is compatible with the massing, size, scale, and architectural features that are predominant in the Southeast Kenwood Local Historic District.

13. *New construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the local landmark and its environment would be unimpaired.*

Consistent The proposed new construction could be removed without altering the integrity of the historic district.

Code Section 16.20.010.5. – Maximum Development Potential

Development potential is different within each district in order to respect the character of the neighborhoods. Achieving maximum development potential will depend upon market forces, such as minimum desirable unit size, and development standards, such as minimum lot size, parking requirements, height restrictions, floor area ratios, maximum building and impervious surface ratios, and building setbacks.

To maintain community character and provide for desirable redevelopment and infill housing, homes shall be built using FARs as set forth herein. Various design standards may be used to increase the FAR and maintain the compatibility of new and modified homes with the existing neighborhood character. Therefore a maximum FAR is established and FAR bonuses may be permitted if the home incorporates design elements as set forth herein which are intended to be beneficial to the character of the neighborhood and reduce the appearance of mass and bulk from the public view.

The applicant has requested the following FAR Bonuses:

FAR Bonus Design Standard Requested:	Bonus Points Requested:	Staff Analysis:
A. - One story covered front porch with a separate roof structure with a minimum width of 60 percent of the front façade: No bonus is allowed if there is a second story deck, porch or roof structure.	.08	Consistent
B. - Additional second story front setbacks: .01 bonus for every 1 foot of additional front setback of the entire façade, and .005 bonus for every 1 foot of additional front setback of at least one third of the façade but which is less than the entire façade, no bonus is allowed unless the setback is at least six feet, maximum 0.10 bonus. No bonus is allowed if there is a second story deck, porch or roof structure.	.09	Inconsistent. The setback is only five feet, not the required six feet for this bonus.
E. - Reduction of the height of both the peak and roofline of a two story building from the maximum allowed height: 0.02 bonus per foot, maximum 0.06.	.06	Consistent
F. - The entire peak of the primary roof structure of the front façade is parallel to the front property line: bonus 0.02, or if the entire peak of the primary roof structure of the front façade is parallel to the front property line and the roof has dormer(s) which are equal to at least 20 percent of the width of the front façade: 0.04 bonus.	.04	Consistent
I. - All windows have true or simulated divided light muntins on interior and exterior surfaces	.03	Consistent
L. - Style, materials and detailing consistent with an Architectural Style in St. Petersburg's Design Guidelines for Historic Properties	.10	Consistent
Total FAR Bonus Needed by Applicant:	.10	
Total FAR Bonus Requested, per Applicant:	.42	
Total FAR Bonus Found Consistent, per Staff, up to Maximum Cap of .20:		.20

Summary of Findings

Staff evaluation yields a finding of the following criteria being met by the proposed project:

- General Criteria for Granting Certificates of Appropriateness: 5 of 5 relevant criteria met.
- Additional Guidelines for New Construction: 13 of 13 relevant criteria met.
- FAR Bonus Request: FAR Bonus criteria meeting maximum allowance of .20, which is more than the .10 needed for this proposal.

Staff Recommendation and Conditions of Approval

Based on a determination of general consistency with Chapter 16, City Code of Ordinances, staff recommends that the Community Planning and Preservation Commission **approve** the Certificate of Appropriateness request for a new single-family home with detached garage at 2101 3rd Ave. N with the following conditions:

1. Windows and doors will be installed to be setback within the wall plane and feature a reveal of at least two inches, and feature contoured, exterior three-dimensional muntins to reference traditional muntin design.
2. A historic preservation final inspection is required.
3. All other necessary permits shall be obtained. Any additional work shall be presented to staff for determination of the necessity of additional COA approval.
4. Any other design changes not included as part of this COA review and approval shall require the approval of the CPPC, with the exception of minor changes as deemed appropriate by staff.
5. This approval will be valid for 24 months from the date of this hearing, with an expiration date of January 10, 2025.

Report Prepared By:



01/03/2023

Kelly Perkins, Historic Preservationist II
 Urban Planning and Historic Preservation Division
 Planning and Development Services Department

Date

Report Approved By:



01/03/2023

Derek S. Kilborn, Manager
 Urban Planning and Historic Preservation Division
 Planning and Development Services Department

Date

Appendix A:

Application No. 22-90200119 and Submittals



CERTIFICATE OF APPROPRIATENESS

APPLICATION

All applications are to be filled out completely and correctly. The application shall be submitted to the City of St. Petersburg's Planning and Development Services Department, located on the 8th floor of the Municipal Services Building, One Fourth Street North, St. Petersburg, Florida. Laura Duvekot, Historic Preservationist II, (727) 892-5451 or Laura.Duvekot@stpete.org

GENERAL INFORMATION


Property Address	Parcel Identification No.
Historic District / Landmark Name	Corresponding Permit Nos.
Owner's Name	Property Owner's Daytime Phone No.
Owner's Address, City, State, Zip Code	Owner's Email
Authorized Representative (Name & Title), if applicable	Representative's Daytime Phone No.
Representative's Address, City, State, Zip Code	Representative's Email

APPLICATION TYPE (Check applicable)		TYPE OF WORK (Check applicable)	
<input type="checkbox"/> Addition	<input type="checkbox"/> Window Replacement	<input type="checkbox"/> Repair Only	
<input type="checkbox"/> New Construction	<input type="checkbox"/> Door Replacement	<input type="checkbox"/> In-Kind Replacement	
<input type="checkbox"/> Demolition	<input type="checkbox"/> Roof Replacement	<input type="checkbox"/> New Installation	
<input type="checkbox"/> Relocation	<input type="checkbox"/> Mechanical (e.g. solar)	<input type="checkbox"/> Other:	
<input type="checkbox"/> Other:			

AUTHORIZATION

By signing this application, the applicant affirms that all information contained within this application packet has been read and that the information on this application represents an accurate description of the proposed work. The applicant certifies that the project described in this application, as detailed by the plans and specifications enclosed, will be constructed in exact accordance with aforesaid plans and specifications. Further, the applicant agrees to conform to all conditions of approval. It is understood that approval of this application by the Community Planning and Preservation Commission in no way constitutes approval of a building permit or other required City permit approvals. Filing an application does not guarantee approval.

- NOTES:**
- 1) It is incumbent upon the applicant to submit correct information. Any misleading, deceptive, incomplete or incorrect information may invalidate your approval.
 - 2) To accept an agent's signature, a notarized letter of authorization from the property owner must accompany the application.

Signature of Owner: _____  _____ Date: 8/21/2022

Signature of Representative: _____ Date: _____



CERTIFICATE OF APPROPRIATENESS

APPLICATION

COA #

All applications are to be filled out completely and correctly. The application shall be submitted to the City of St. Petersburg's Planning and Development Services Department by emailing directly to Historic Preservationists Laura Duvekot (Laura.Duvekot@stpete.org) or Kelly Perkins (Kelly.Perkins@stpete.org).

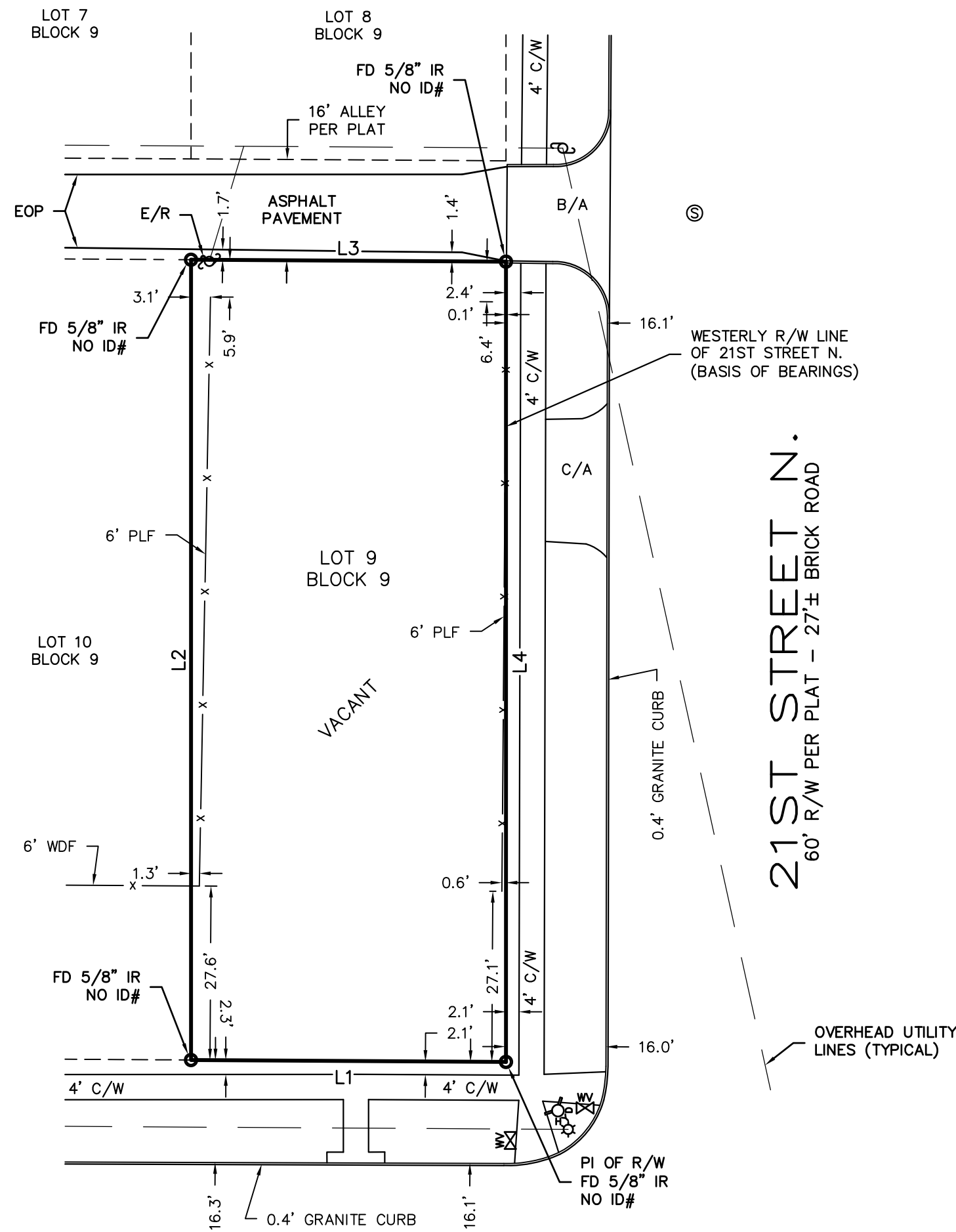
PROPOSED SCOPE OF WORK

Please provide a detailed description of the proposed work, organized according to the COA Matrix. Include information such as materials, location, square footage, etc. as applicable. Attach supplementary material as needed.

Building or Site Feature	Photo No.	Proposed Work

MAP OF SURVEY
SECTION 24, TOWNSHIP 31 SOUTH, RANGE 16 EAST
PINELLAS COUNTY, FLORIDA

SITE ADDRESS:
2101 3RD AVENUE N.



LEGEND

- FD FOUND
- IR IRON ROD
- N&D NAIL & DISK
- MAG MAGNETIC
- P PLAT
- M MEASURED
- R/W RIGHT-OF-WAY
- PI POINT OF INTERSECTION
- LB LICENSED BUSINESS
- ID IDENTIFICATION
- B/A BRICK APRON
- CONC CONCRETE
- C/A CONC APRON
- C/S CONC SLAB
- C/P CONC PORCH
- C/W CONC WALK
- A/C AIR CONDITIONER
- WDF WOOD FENCE
- PLF PLASTIC FENCE
- EOP EDGE OF PAVEMENT
- E/R ELECTRIC RISER
- UTILITY POLE
- LIGHT POLE
- WATER VALVE
- SANITARY SEWER MANHOLE
- FIRE HYDRANT



LEGAL DESCRIPTION:

LOT 9, BLOCK 9, "PLAT OF THE BRONX ADDITION", ACCORDING TO THE MAP OR PLAT THEREOF AS RECORDED IN PLAT BOOK 5, PAGE 42, OF THE PUBLIC RECORDS OF PINELLAS COUNTY, FLORIDA.

F.I.R.M. CERTIFICATION:

THE PROPERTY SURVEYED HEREON IS SITUATED IN ZONE "X" AS DELINEATED ON FLOOD INSURANCE RATE MAP PANEL NO. 12103C0218G, DATED SEPTEMBER 3, 2003.

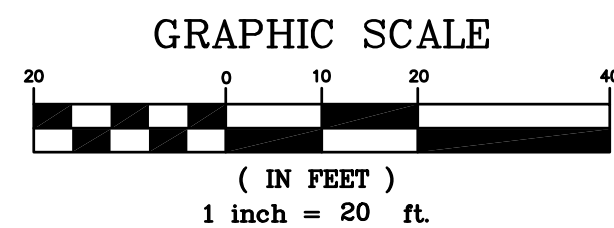
SURVEYOR'S NOTES:

- NO UNDERGROUND INSTALLATIONS OR IMPROVEMENTS HAVE BEEN LOCATED, EXCEPT AS SHOWN.
- NO INSTRUMENTS OF RECORD REFLECTING EASEMENTS, RIGHTS-OF-WAY, AND/OR OWNERSHIP WERE FURNISHED THIS SURVEYOR, EXCEPT AS SHOWN. THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT OR OWNERSHIP AND ENCUMBRANCE REPORT.
- SURVEY FIELD WORK WAS COMPLETED ON AUGUST 6, 2021.
- ADDITIONS OR DELETIONS TO SURVEY MAPS OR REPORTS BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.
- LEGAL DESCRIPTION SHOWN HEREON WAS OBTAINED FROM DEED RECORDED IN O.R. BOOK 7175, PAGE 584, OF THE PUBLIC RECORDS OF PINELLAS COUNTY, FLORIDA.
- BEARINGS SHOWN HEREON ARE BASED ON AN ASSUMED BEARING OF SOUTH 00°00'00" WEST FOR THE WESTERLY RIGHT-OF-WAY LINE OF 21ST STREET N. AS SHOWN HEREON.

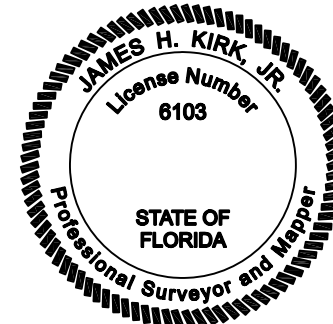
SITE BENCHMARK:
SET MAG N&D, LB #7863
ELEVATION = 45.54
(N.A.V.D. OF 1988)

3RD AVENUE N.
60' R/W PER PLAT - 27'± BRICK ROAD
(FOURTH AVENUE N. PER PLAT)

SITE BENCHMARK:
SET MAG N&D, LB #7863
ELEVATION = 46.73
(N.A.V.D. OF 1988)



LINE	LENGTH	BEARING
L1(P&M)	50.00'	N89°39'18"W
L2(P&M)	127.00'	N00°00'00"E
L3(P&M)	50.00'	S89°39'18"E
L4(P&M)	127.00'	S00°00'00"W



8-6-21	BOUNDARY SURVEY	RJD	ACJ	JHK
Date	Description of Work	Party Chief	Drawn by	Checked by
THIS SURVEY NOT VALID UNLESS IMPRINTED WITH AN EMBOSSED SURVEYOR'S SEAL				
<p>SURVEYOR'S CERTIFICATE: This certifies that a survey of the property described hereon was made under my supervision and that the drawing hereon is a true and accurate representation thereof and meets the standards of practice for surveys set forth in Chapter 5J-17 by the Florida Board of Land Surveyors pursuant to Section 472.027 Florida State Statutes. The seal appearing on this document was authorized by:</p>				
JAMES H. KIRK, JR.		DATE:	8/9/21	
		P.S.M. No.		6103

Certified to:				
TRB DEVELOPMENT ENGLEWOOD, LLC CHICAGO TITLE INSURANCE COMPANY TOWN SQUARE TITLE, LTD.				
<p>W.C. SHERRILL AND COMPANY, LLC SURVEYING • MAPPING • CONSULTING P.O. BOX 203 • ODESSA, FLORIDA 33556 P: 813-345-4270 • WEBSITE: WWW.WCSHERRILL.COM State of Florida, Certificate of Authorization LB #7863</p>				
Project No.:	21-07-334	Date:	8-6-21	
Section	24	Township	31 S	Range 16 E

HISTORIC STAFF REVIEW SET
 OPTION 2

JON MEYER
 RESIDENCE

2101 3RD AVE N
 ST PETERSBURG, FL 33713



TRB DEVELOPMENT

PROJECT NO.: 2115

DATE: 10/19/22

OPTION 2

REP

RENKER EICH PARKS ARCHITECTS
 1609 DR. MARTIN LUTHER KING JR. STREET NORTH ST. PETERSBURG, FLORIDA 33704 TEL. 727.821.2986
 LIC. AAC001447
 REPARCH.COM

INDEX OF DRAWINGS

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 00.0 COVER SHEET
 GA1.0 GENERAL ARCHITECTURAL

II ARCHITECTURAL
 A1.1 SITE PLAN
 A1.2 FLOOR PLANS
 A3.1 EXTERIOR ELEVATIONS
 A3.2 EXTERIOR ELEVATIONS

SITE INFORMATION

ADDRESS: 2101 3RD AVENUE NORTH ST PETERSBURG, FL 33713

PARCEL ID #: 24-31-16-11808-009-0090

LEGAL DESCRIPTION: BRONX BLK 9, LOT 9

OCCUPANCY: RESIDENTIAL, R-3

TYPE OF CONSTRUCTION: TYPE III-B

NUMBER OF STORIES: 2 STORIES

FLOOD ZONE: X

ZONING DISTRICT: NT-2, NEIGHBORHOOD TRADITIONAL SINGLE FAMILY

ARCHITECTURAL STYLE: CRAFTSMAN

APPLICABLE CODES

2020 FLORIDA BUILDING CODE - BUILDING
 2020 FLORIDA BUILDING CODE - EXISTING BUILDING
 2020 FLORIDA BUILDING CODE - MECHANICAL
 2020 FLORIDA BUILDING CODE - PLUMBING
 2020 FLORIDA BUILDING CODE - FUEL GAS
 2020 FLORIDA BUILDING CODE - TEST PROTOCOLS
 2020 FLORIDA BUILDING CODE - ENERGY (Chapter 13)
 2020 FLORIDA BUILDING CODE - ACCESSIBILITY
 2018 NFPA 70 NATIONAL ELECTRICAL CODE
 2020 FLORIDA FIRE PREVENTION CODE, 7th EDITION
 2020 FLORIDA BUILDING CODE - RESIDENTIAL

REP

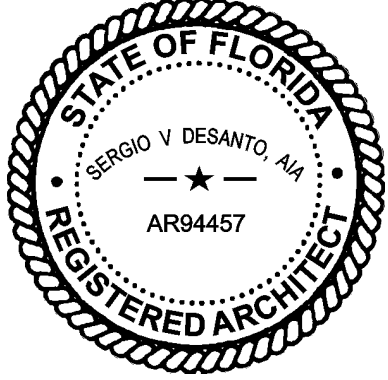
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ARCHITECT
 SERGIO V. DESANTO, AIA
 LIC. AR94457

No.	Description	Date

TRB DEVELOPMENT

JON MEYER RESIDENCE
 COVER SHEET

PROJECT STATUS HISTORIC STAFF REVIEW SET
 Project number 2115
 Date 10/19/22
 Drawn by ML
 Checked by SDS

00.0
 Scale 1/4" = 1'-0"

ARCHITECTURAL ABBREVIATIONS

AB ANCHOR BOLT	JT JOINT
ACOUST ACOUSTICAL	KIT KITCHEN
ADJ ADJUSTABLE	KW KILOWATT
AFF ABOVE FINISH FLOOR	L LENGTH
AHU AIR HANDLING UNIT	LAM LAMINATE
ALT ALTERNATE	LAV LAVATORY
ALUM ALUMINUM	LF LINEAR FEET
ANOD ANODIZED	LKR LOCKER
AP ACCESS PANEL	LL LEAD LINED
APPROX APPROXIMATE	MFD MANUFACTURED
ARCH ARCHITECTURAL	MFR MANUFACTURER
AT ACOUSTICAL TILE	MH MANHOLE
BD BOARD	MIN MINIMUM
BFE BASE FLOOD ELEVATION	MIR MORROR
BLDG BUILDING	MISC MISCELLANEOUS
BM BEAM	MLDGM MOLDING
BOT BOTTOM	MO MASONRY OPENING
BUR BUILT-UP ROOFING	MR MOISTURE RESISTANT
C.F.C.I. CONTRACTOR FURNISHED AND CONTRACTOR INSTALLED	MT METAL THRESHOLD
	MTD MOUNTED
	MTL METAL
	NIC NOT IN CONTRACT
CAB CABINET	NOM NOMINAL
CG CORNER GUARD	NTS NOT TO SCALE
CI CAST IRON	OA OVERALL
CJ CORNER JOINT	OC ON CENTER
CL CLEAR	OD OUTSIDE DIAMETER
CLO CLOSET	OFI OWNER FURNISHED CONTRACTOR INSTALLED
CMU CONCRETE MASONRY UNIT	
CNT COUNTER	PL PLATE
COL COLUMN	PLAM PLASTIC LAMINATE
CONC CONCRETE	PLAS PLASTER
CONST CONSTRUCTION	PLUMB PLUMBING
CONT CONTINUOUS	PLWD PLYWOOD
CONTR CONTRACTOR	PNT PAINT
CORR CORRIDOR	PT PRESSURE TREATED
CPT CARPET	PTD PAPER TOWEL DISPENSER
CT CERAMIC TILE	PVC POLYVINYL CHLORIDE
DET DETAIL	QT QUARRY TILE
DIA DIAMETER	R RADIUS
DIAG DIAGONAL	RCP REINFORCED CONCRETE PIPE
DIM DIMENSION	RD ROOF DRAIN
DISP DISPENSER	REC RECEPTACLE
DN DOWN	REF REFRIGERATOR
DWG DRAWING	REG REGLET
EB EXPANSION BOLT	REINF REINFORCED
EJ EXPANSION JOINT	REQD REQUIRED
EL ELEVATION	RM ROOM
ELEC ELECTRICAL	RO ROUGH OPENING
ELEV ELEVATION	SCHD SCHEDULE
EP ELECTRICAL PANEL	SCRN SCREEN
EQ EQUAL	SEC SECTION
EQUIP EQUIPMENT	SH SHELF
ETR EXISTING TO REMAIN	SHT SHEET
EWC ELECTRIC WATER COOLER	SIM SIMILAR
	SP SPACE
EX EXISTING	SPEC SPECIFICATIONS
EXP EXPOSED	SS STAINLESS STEEL
EXT EXTERIOR	STL STEEL
FC FURRING CHANNEL	STOR STORAGE
FD FLOOR DRAIN	STRUC STRUCTURAL
FEC FIRE EXTINGUISHER CABINET	SUSP SUSPENDED
FF FINISH FLOOR	TB TOGGLE BOLT
FHC FIRE HOSE CABINET	TC TOILET COMPARTMENT
FIN FINISH	TEL TELEPHONE
FL FLOOR	TEMP TEMPERATURE
FR FIRE RATED	TPD TOILET PAPER DISPENSER
GA GAUGE	TYP TYPICAL
GALV GALVANIZED	UC UNDERCOUNTER
GC GENERAL CONTRACTOR	UNO UNLESS NOTED OTHERWISE
GFRG GLASS FIBER REINFORCED CEMENT	
	UTIL UTILITY
	VB VINYL BASE
	VERT VERTICAL
	VEST VESTIBULE
	VIF VERIFY IN FIELD
	VTR VENT THROUGH ROOF
	VWC VINYL WALLCOVERING
	W WIDTH
	W/ WITH
	WC WATER CLOSET
	WD WOOD
	WP WEATHER PROOF
	WWF WELDED WIRE FABRIC

GENERAL PROJECT NOTES

- A ISOLATE ALL DISSIMILAR MATERIALS, TYP.
- B SEALERS TO BE COMPATIBLE WHERE IN CONTACT W/ ONE ANOTHER AND OTHER MATERIALS.
- C CONTRACTOR SHALL HAVE PORTABLE FIRE EXTINGUISHER ON SITE AND AVAILABLE AT ALL TIMES.
- D CONTRACTOR SHALL OBTAIN ALL PERMITS NECESSARY TO PERFORM THEIR PROJECT. ALL PERMIT FEES ARE BY OTHERS.
- E DO NOT SCALE DRAWINGS, IF DIMENSIONS ARE IN QUESTION THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING CLARIFICATION FROM THE ARCHITECT PRIOR TO CONTINUATION OF WORK.
- F USER GROUP TO RELOCATE ALL NON-FIXED EQUIPMENT PRIOR TO CONTRACTORS NOTICE TO PROCEED.
- G CONTRACTOR TO BE RESPONSIBLE FOR RELOCATION/ STORAGE/ RE-INSTALLATION OF ALL FIXED EQUIPMENT. CONSULT WITH OWNER REGARDING AVAILABILITY OF ON-SITE STORAGE.

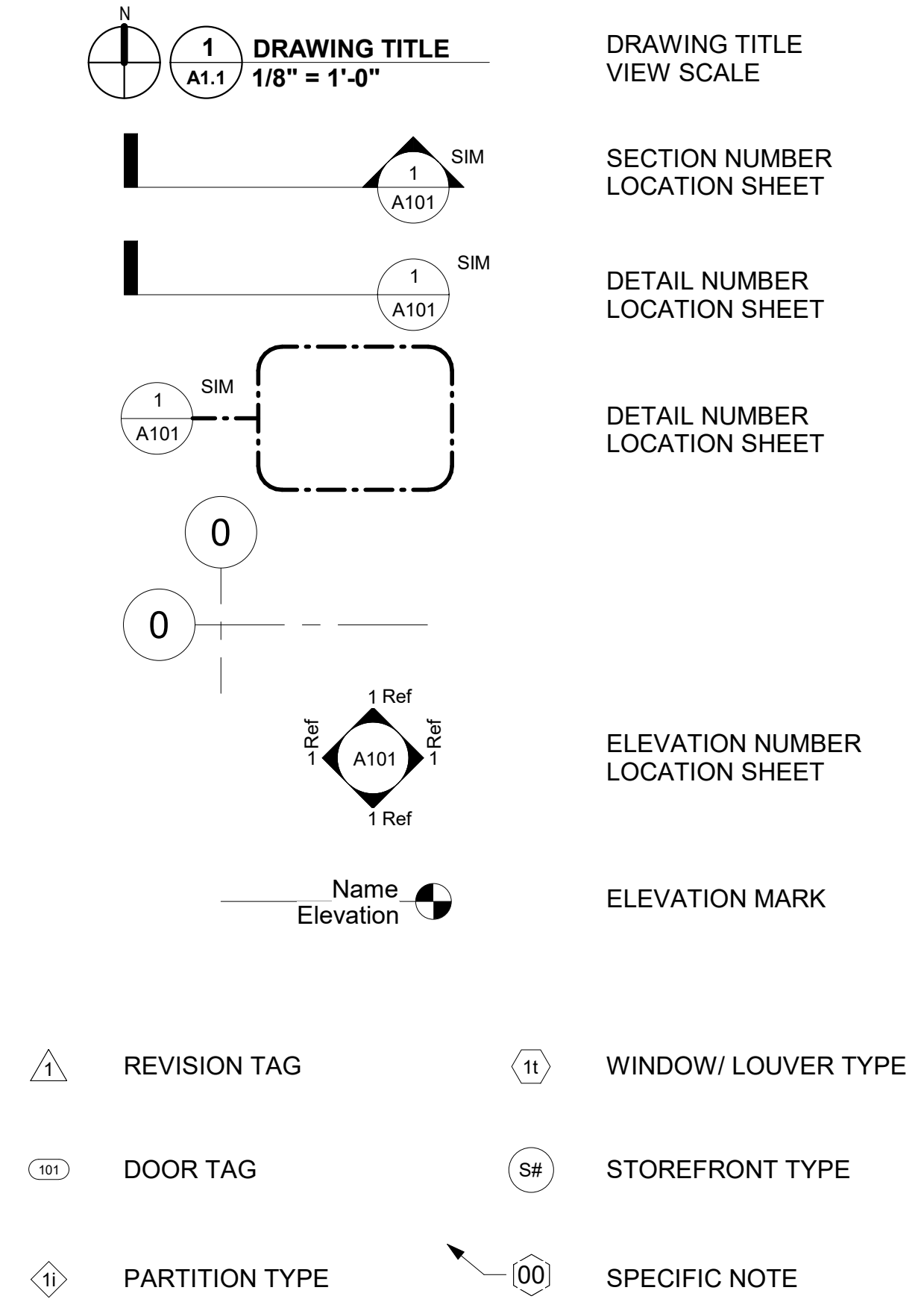
DIMENSION NOTES

- 1 ALL DOOR/WINDOW FRAME OPENINGS IN MASONRY SHALL BE 3'-4" MO U.N.O.
- 2 ALL DIMENSION STRINGS SHALL BE FROM FACE OF CMU TO CENTERLINE OF STUD WALL U.N.O.
- 3 DIMENSION STRINGS NOTED AS CLEAR SHALL BE TO FACE OF FINISHED WALL OR PARTITION (IE FACE OF GWB, PLASTER, OR TILE)
- 4 DOOR JAMB RETURNS IN MASONRY WALLS TO HINGE SIDE SHALL BE 8" NOM U.N.O.
- 5 DOOR JAMB RETURNS IN STUD FRAMING WALLS TO HINGE SIDE SHALL BE 4" NOM U.N.O.

GENERAL CONSTRUCTION NOTES

- A AT LOCATIONS WHERE FIXTURES AND ACCESSORIES HAVE BEEN REMOVED, PATCH AND REPAIR TO BE FLUSH AND MATCH ADJACENT FINISHES.
- B VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS FOR THE PROPOSED SCOPE OF WORK. NOTIFY ARCHITECT OF ANY DISCREPANCIES.
- C COORDINATE WITH OWNER ON ALLOWABLE WORK HOURS FOR THE CONSTRUCTION. CONSTRUCTION SHALL NOT CREATE EXCESSIVE NOISE OR IMPEDE ON THE OPERATIONS OF THE ADJACENT NEIGHBORS.
- D SECURE ALL EXTERIOR OPENINGS IN THE BUILDING ENVELOPE AT THE END OF WORK EACH DAY.
- E NEW PAINT/ TOUCH UP SUBSTRATES AT ALL AREAS DISTURBED BY THE SCOPE OF CONSTRUCTION ACTIVITIES.
- F CLEAN AND RESEAL ALL GROUT AND TILE IN ALL OFFICE AREAS

DRAWING LEGEND



REP

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Jonathan Meyer
5301 N Branch Ave
Tampa, FL 33603

Case No.: 21-40000076
Address: 2101 3rd Ave N
Parcel ID No.: 24-31-16-11808-009-0090
Request: Buildable Lot Letter

Dear Applicant:

A Buildable Lot Letter has been completed for lot 9 of blk 9 of The Bronx Addition Subdivision. Based on the property card, property deed, and parcel ID number, the subject parcel is buildable for a single-family home and one (1) accessory dwelling unit. The property is currently vacant.

The property is zoned NT-2 (Neighborhood Traditional Single-Family). The subject lot is 50-feet wide and approximately 6,350 square feet in lot area. A standard lot in within the NT-2 zoning district is 50-foot wide and 5,800 square feet in lot area. Thus, the subject lot exceeds the lot width and lot area requirement.

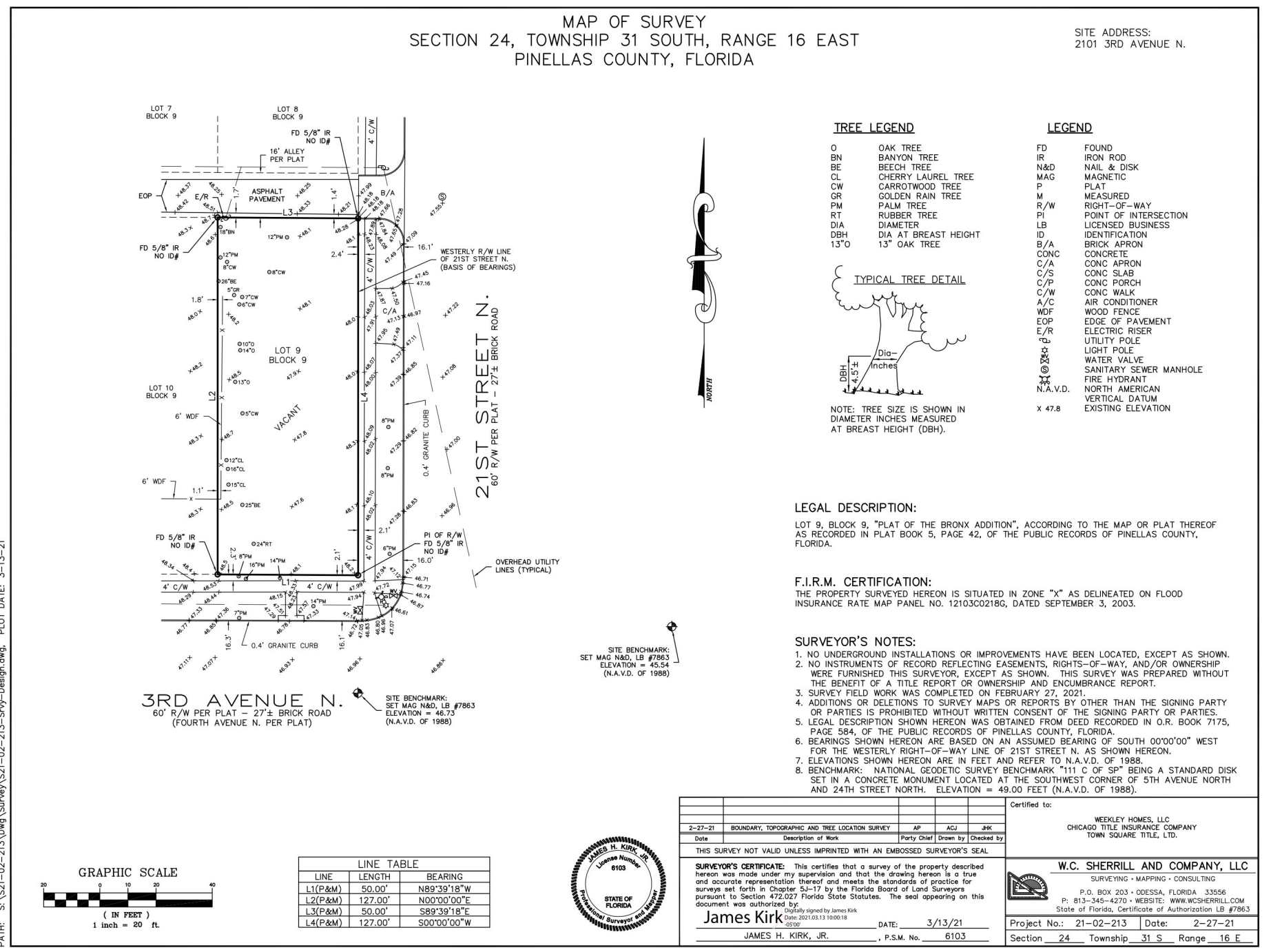
No variance to lot width or area will be required to erect a single-family home on this lot. All other requirements for the NT-2 zoning district must be met, or variances must be granted.

This determination is effective as of the date of this letter and is subject to change upon any future amendment to the Land Development Regulations or Comprehensive Plan. Future development on the subject parcel shall be subject to all applicable codes at time of permitting; including, but not limited to, Land Development Regulations and Building and Life Safety Codes.

If you have any additional questions, please contact Dylan Carlson at Dylan.Carlson@stpete.org.

Sincerely,

Jennifer C. Bryla, AICP
Zoning Official
Development Review Services



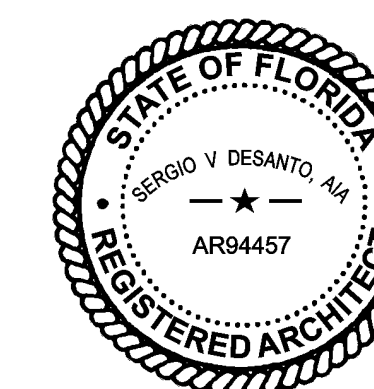
LEGAL SURVEY

P.O. Box 2842
St. Petersburg, FL 33731-2842
T: 727-893-7111

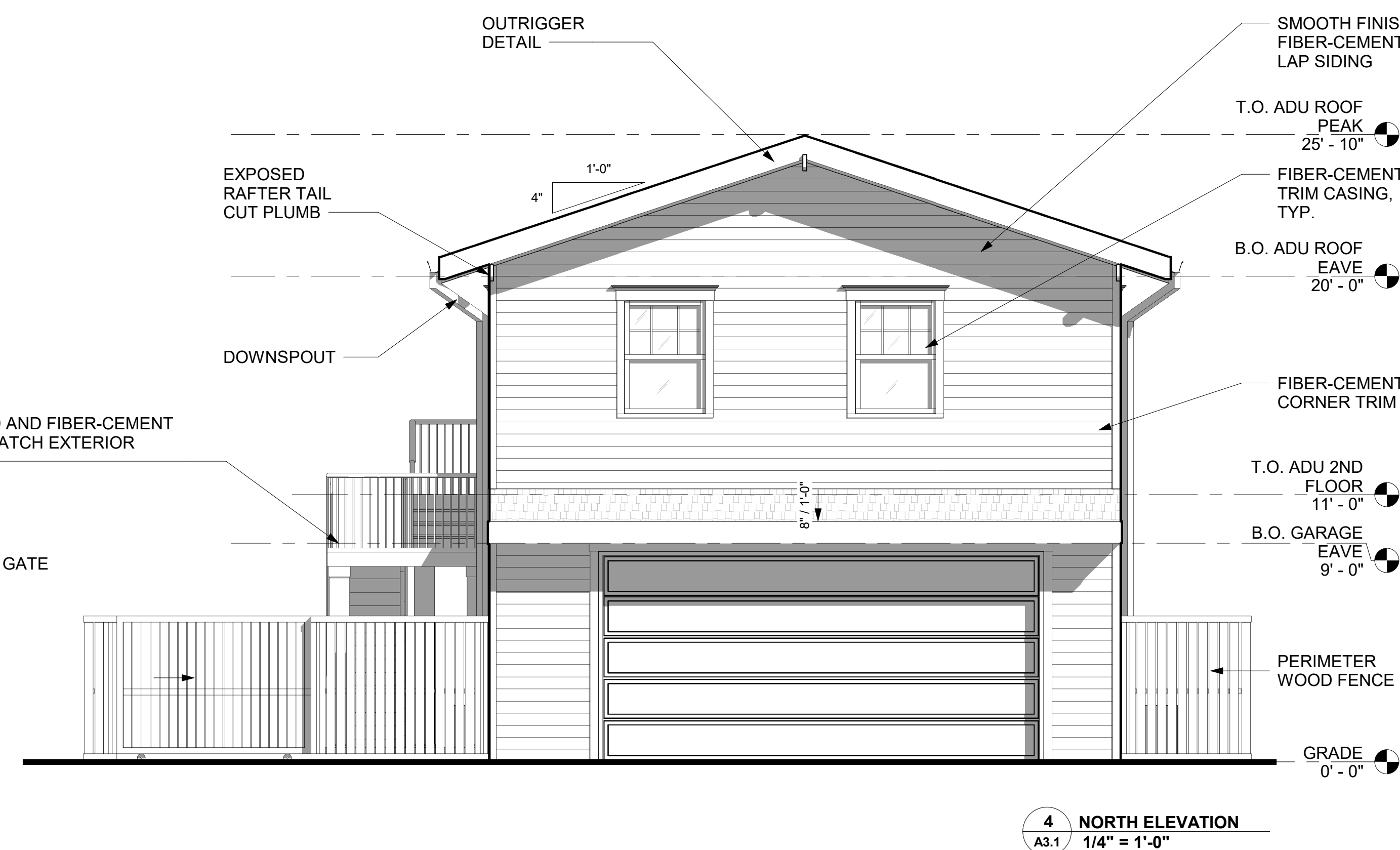
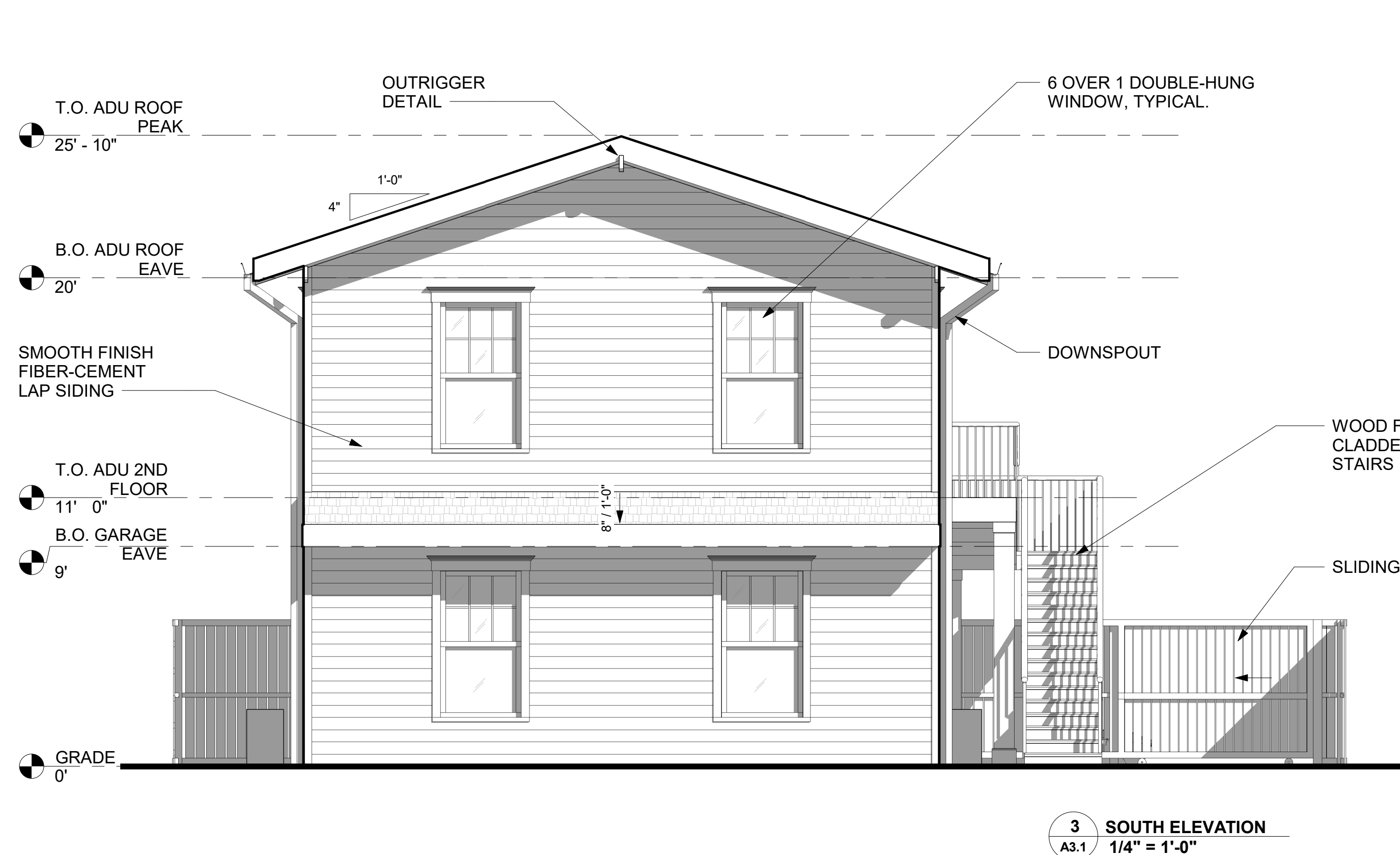
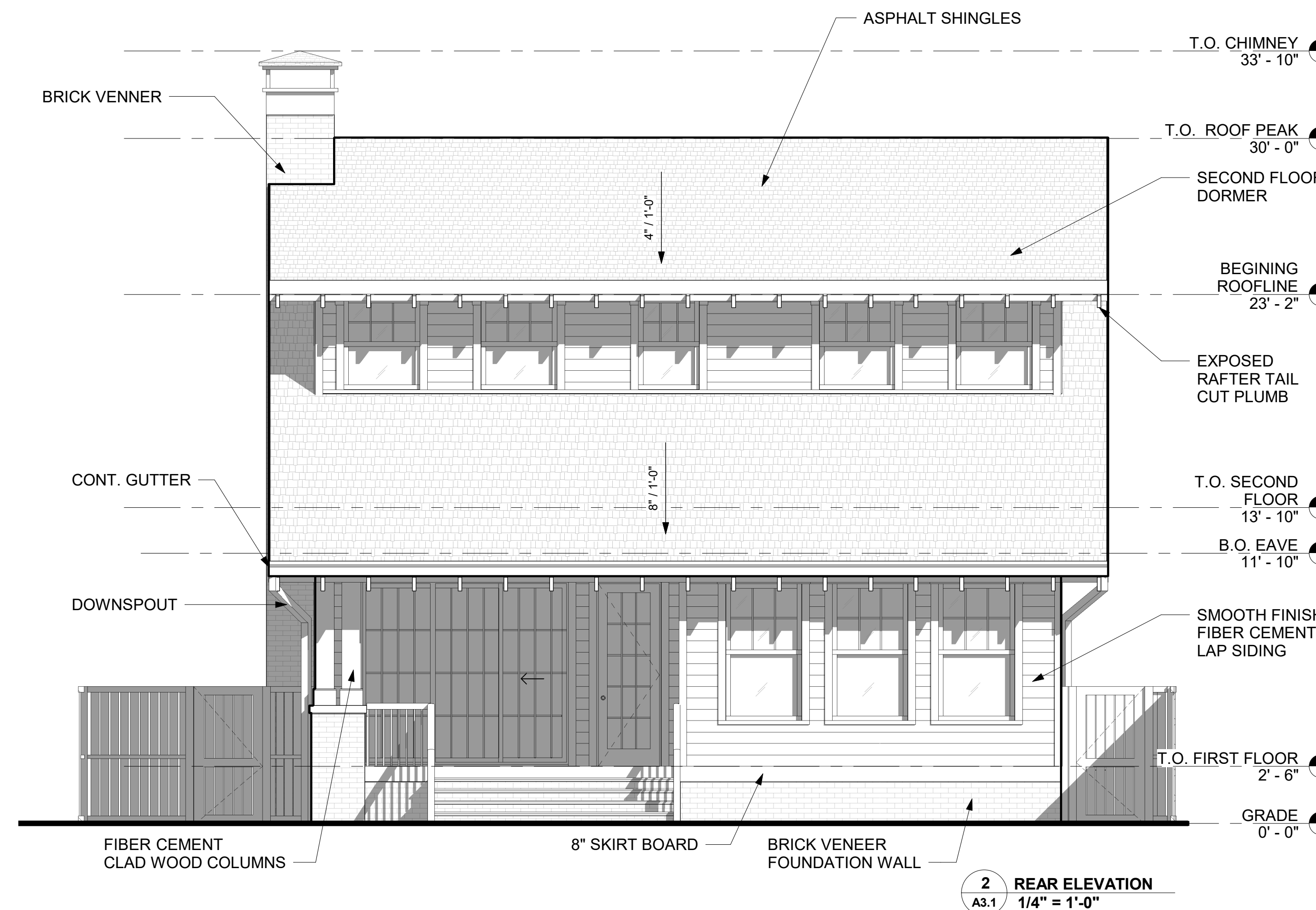
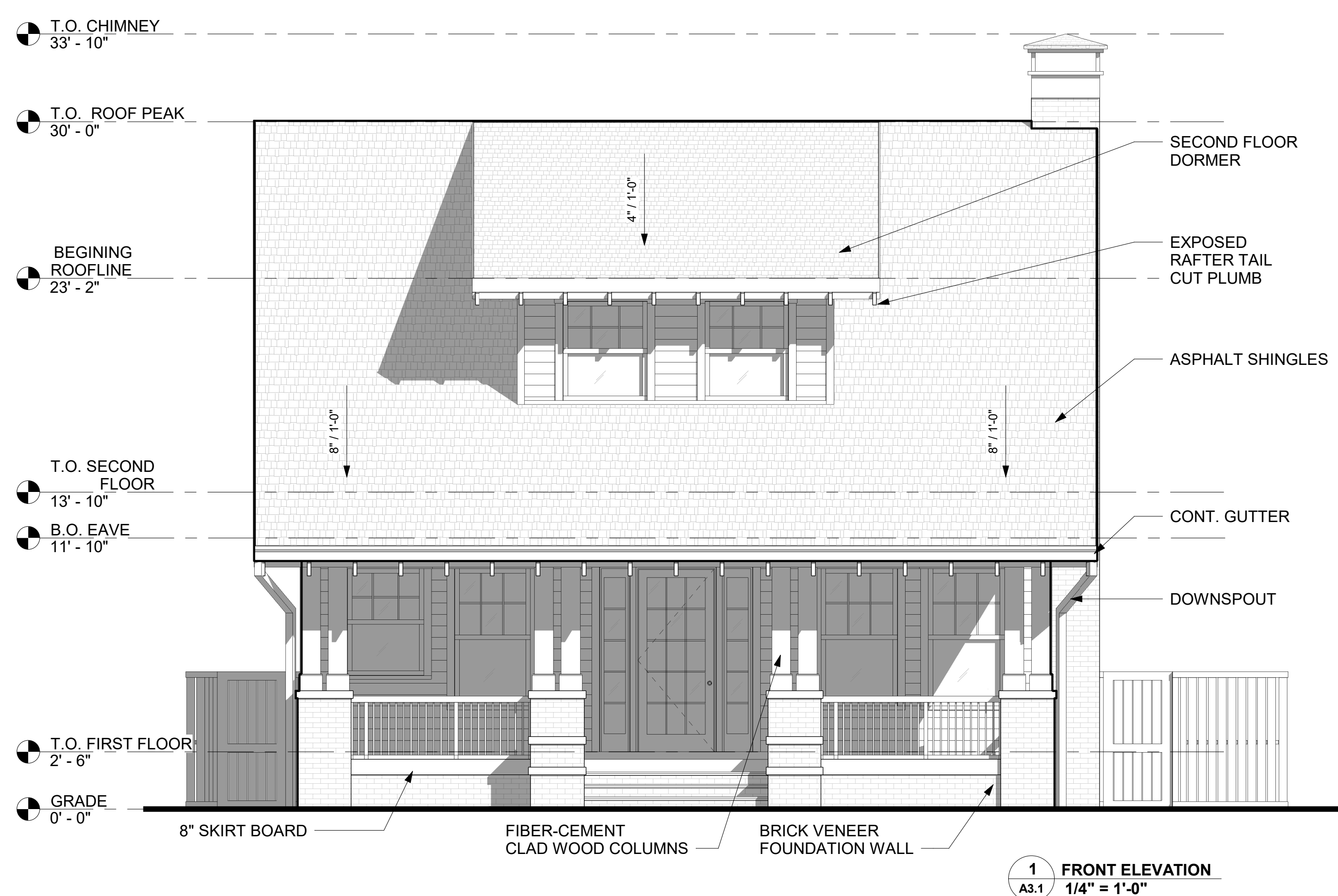
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 JON.MEYER@TRBDEVELOPMENT.COM



ARCHITECT
 SERGIO V. DESANTO, AIA
 LIC. AR94457



No.	Description	Date

TRB DEVELOPMENT

JON MEYER RESIDENCE
 EXTERIOR ELEVATIONS

PROJECT STATUS HISTORIC STAFF REVIEW SET
 Project number 2115
 Date 10/19/22
 Drawn by ML
 Checked by SDS

A3.1

Scale 1/4" = 1'-0"

CRAFTSMAN ARCHITECTURAL STYLE GUIDELINE

ARCHITECTURAL STYLE PER ST. PETERSBURG DESIGN GUIDELINES FOR HISTORIC PROPERTIES
SECTION CRAFTSMAN PAGE 44-49, PER SECTION 16.20.010.11

T.O. CHIMNEY
33' - 10"

T.O. ROOF PEAK
30' - 0"

BEGINNING
ROOFLINE
23' - 2"

8" BOARD

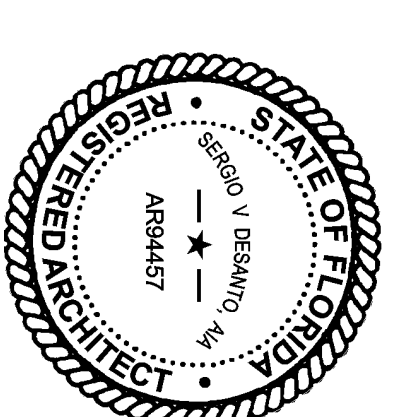
T.O. SECOND
FLOOR
13' - 10"

B.O. EAVE
11' - 10"

FIBER-CEMENT
CORNER TRIM

T.O. FIRST FLOOR
2' - 6"

1 WEST ELEVATION
A3.2 1/4" = 1'-0"



ARCHITECT
SERGIO V. DESANTO, AIA
LIC. AR94457

ARCHITECT
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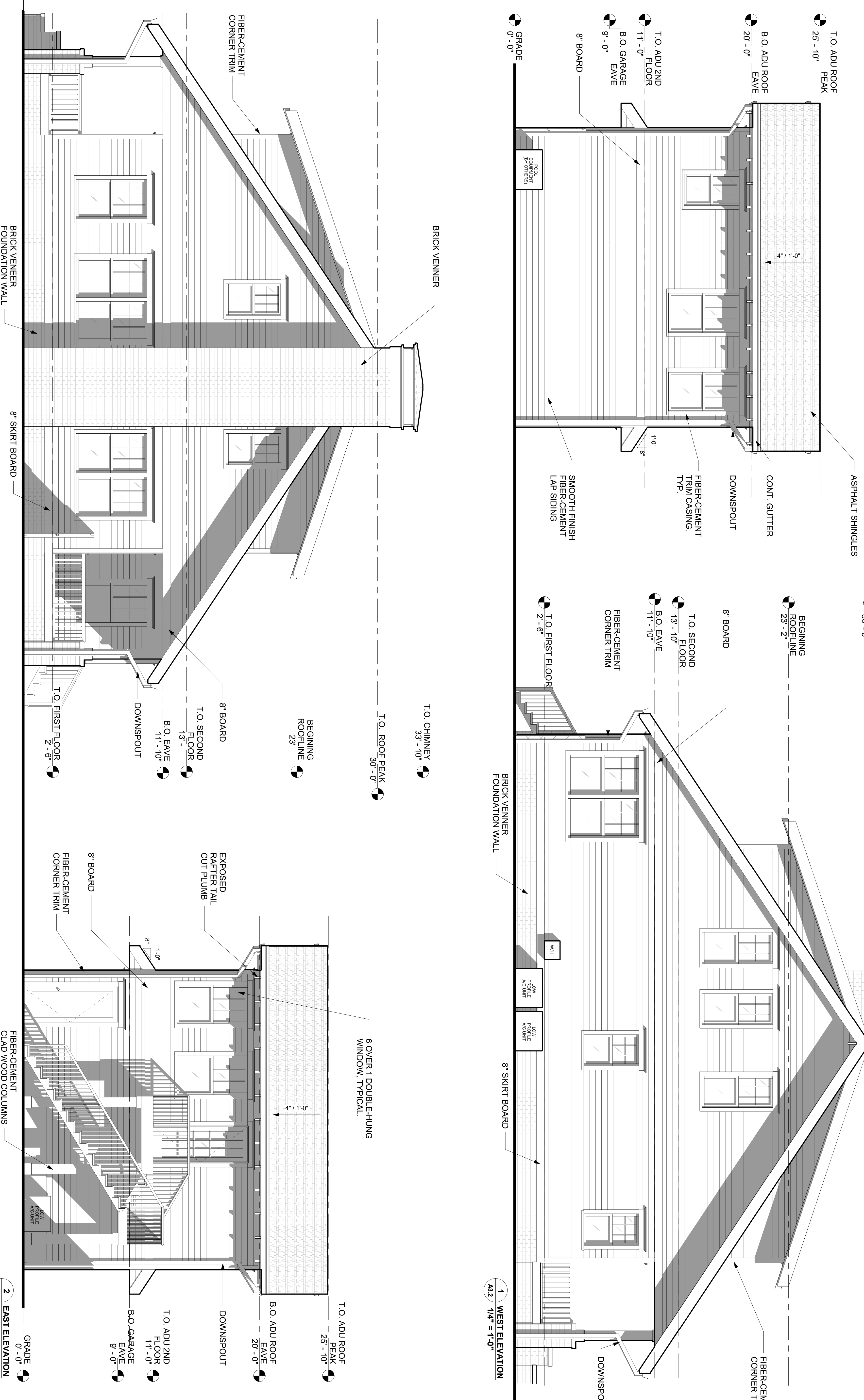
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REP

REMKER EICH PARKS ARCHITECTS
1609 DR. MARTIN LUTHER KING JR. STREET, PETERSBURG, FLORIDA 33704
LIC. AR0000447



No.	Description	Date

TRB DEVELOPMENT	
JON MEYER RESIDENCE	
EXTERIOR ELEVATIONS	
PROJECT STATUS	HISTORIC STAFF REVIEW SET
Project number	2115
Date	10/19/22
Drawn by	ML
Checked by	SDS

Scale: 1/4" = 1'-0"

A3.2















Re: 2101 3rd Avenue N

Written description explaining how the proposed work complies with the following evaluation criteria:

Please refer to the Historic Staff Review Set Option 2, Dated 10/19/22 in reference to these criteria responses.

1. *The height and scale of the proposed new construction shall be visually compatible with contributing resources in the district.*

Response: Height and Scale is visually compatible with contributing resources in the district. Although larger in square footage and FAR than contributing resources within the district (see table below - approximately 10% larger within two-story structures in Southeast Kenwood); the design mitigates both square footage and FAR through smart design that deconstructs the building into more compatible scale and massing. This creative and smart approach was both suggested and commended at the Historic Review Workshop dated 9.23.22). This mitigation reduces the exterior visual impact of both mass and scale through a creative yet difficult to achieve 1 ½ -story Craftsman Style design rather than a simple two-story stacked floor approach. The principal structure roof eave is only at 11'-10" above grade a height very compatible with 1-story homes. The smart design approach places the second-floor bedrooms within small front and centered shed dormers at only 13'-8" wide. The shed dormer width is considerably less than the maximum 16'-0" wide dormer the city staff required during staff workshop. This choice and application of shed dormers rather than gable dormers and lower ceiling heights to accomplish a 1-1/2 -Story Craftsman home creates a visual appearance lower in massing and scale which in turn is visually compatible with the contributing resources despite the numbers found in the table below. Another form of smart design mitigating mass and scale so that to be visually compatible with contributing resources was that a good amount of the total square footage (41% or 1,319 Total SF) is dedicated to the rear of the property both in the detached garage and the accessory dwelling unit above it. This important change and shifting of square footage to the rear and off the principal structure contributes to other community goals, objectives and policies relating to housing supply. The accessory building and dwelling unit are compatible with the surrounding district as commended and noted by City staff. (Historic Review Workshop dated 9.23.22).



- a. Below is a table of the houses on the 2100 Block of 3rd Avenue North for houses either larger than 1500 SF or they have an ADU. The average FAR is 0.33 and average total square footage is 2,110.

2100 Block of 3rd Ave N				
Address	Type	Primary Structure Living Space SF	Total SF	FAR*
2100 3rd Ave N	Single Family	1775	1775	0.27
2109 3rd Ave N	Single Family w/ ADU	948	1796	0.28
2121 3rd Ave N	Single Family w/ 2 story garage	1366	1766	0.28
2127 3rd Ave N	Single Family	2466	2466	0.39
2135 3rd Ave N	Single Family	2161	2377	0.37
2155 3rd Ave N	Single Family w/ 2 story garage	1162	2482	0.39
Average:		1646	2110	0.33
2101 3rd Ave N	Single Family w/ 2 story garage	2,370	3189	0.50
*This is total FAR, not including any exemptions, such as the 500 SF exemption for ADUs				



b. Below is a table of the two-story contributing structures in the Southeast Kenwood Local Historic District. See that the average FAR is 0.44 and the total square footage is 2,677.

Two-Story Structures in Southeast Kenwood				
Address	Type	Primary Structure Living Space SF	Total SF	FAR*
2100 Burlington	Single Family w/ 2 story garage	2164	3491	0.50
2110 Burlington	Single Family	2340	2580	0.45
2125 Burlington	Single Family	2188	2588	0.42
2130 Burlington	Single Family	2128	2611	0.41
2134 Burlington	Single Family	1918	2278	0.40
2142 Burlington	Single Family w/ 2 story garage	2128	3206	0.46
2143 Burlington	Single Family	2070	2286	0.37
2159 4th Ave N	Single Family	1898	2378	0.39
Average:		2144	2677	0.44
2101 3rd Ave N	Single Family w/ 2 story garage	2370	3189	0.50
*This is total FAR, not including the 500 SF exemption for ADUs				



2. The relationship of the width of the windows to the height of the windows in the new construction shall be visually compatible with contributing resources in the district.

Response: The proposed new structure proposes windows equally sized and double hung sash windows- the proposal offers standard double hung simple windows with 6 over 1 as noted on page 48 of the Craftsman style section of the Historic Guidelines. The typical window is 3'-4" wide by 6'-0" high relationship- Bedrooms windows must meet FBC egress requirements for clear width. The height and width of windows are within range as noted on page 48 of the Historic Guidelines and compatible with contributing resources in the district.

3. The relationship of solids and voids (which is the pattern or rhythm created by wall recesses, projections, and openings) in the front facade of a building shall be visually compatible with contributing resources in the district.

Response: The relationship of solid and voids is accomplished with the applied use of the Craftsman Style of architecture (a compatible style found heavily in the district and highly recommended by City staff). Craftsman style brings patterns and rhythms of stylistic features found compatible with contributing resources such as, symmetrical façade composition, a gabled roof with wide eaves, centered shed dormer and a visually compatible deep craftsman styled porch that creates rich depth with the front façade well tucked under a 1-1/2-story roof that gives a sense of a 1-story home. The main entrance door is centered under the porch with the windows placed on either side as simple double-hung pairs to create larger openings and a sense of pattern and rhythm. The centered shed dormer along the front façade with two simple double hung windows within is 13'-8" wide - well under the maximum width of 16'-0" required by the city staff. The architectural character of the attached elements of dormer and deep porch match that of the main body.



4. The relationship of the new construction to open space between it and adjoining buildings shall be visually compatible with contributing resources in the district.

Response: The proposed new construction is setback within zoning right of adjoining buildings and sits on a corner lot. Pursuant to City Code [Section 16.20.010.6](#), the building qualifies for a 5-foot interior side yard setback for those portions underneath the main roofline. Any dormer or projection above the main roofline shall meet the minimum interior side yard setback of 6-feet. The proposed dormer is 9'-6" from the property line well beyond the 6-feet required. Both the 1-1/2-Story height and well setback roof dormer provide plenty of separation and open space to the adjoining building. The new construction principal roof line is at 11'-10" above grade - visually compatible with the adjoining 1-story structure and compatible with contributing resources in the district and well below the principal roofline of 20'-0" above grade, Pursuant to City Code [Section 16.20.010.6](#) and requested by City staff at workshop.

5. The relationship of the entrance and porch projections, and balconies to sidewalks of the new construction shall be visually compatible with contributing resources in the district.

Response: Noted. The entrance and porch projection aligns with sidewalk of new construction and follows façade composition as noted on page 6 of the New Construction in Historic Kenwood .pdf document where entrance doors are typically under porches while the architectural character of the attached elements should match that of the main body.



6. The relationship of the materials and texture of the facade of the new construction shall be visually compatible with the predominant materials used in contributing resources in the district.

Response: Noted. The materials and textures of the façade of the new construction are visually compatible with the predominant materials used in the contributing resources in the district. This is accomplished and commended by City staff by the Craftsman Style of Architecture. Materials such as cladding of smooth finish fiber-cement lap siding, foundation walls of brick cladding with 8" skirt board, exposed rafter tails cut plumb and asphalt shingle roofing.

7. The roof shape of the new construction shall be visually compatible with contributing resources in the district.

Response: Noted. The proposed 8/12 gable roof pitch is within the suggested roof pitch range of 4:12-8:12 pitch as noted on page 6 of the referenced New Construction in Historic Kenwood .pdf document and page 46 of the Historic Guidelines - Gable and Shed roof dormers cover a low deep front porch roof parallel to entrance façade- making it visually compatible. The centered shed roof dormer is 13'-8" wide, well below the maximum of 16' wide as required by city staff at workshop.

8. Appurtenances of the new construction such as walls, gates and fences, vegetation, and landscape features, shall, if necessary, form cohesive walls of enclosures along a street, to ensure visual compatibility of the new construction with contributing resources in the district.

Response: Noted. The proposed home proposes appurtenances such as wood fences and gates integrated with landscaping forming a cohesive fence of enclosure along the street.

The fence conceals and creates a secure perimeter around the proposed swimming pool and pool amenities from public view from streets and avenues. The fence also conceals the proposed third parking space next to the ADU on the streetside. Visibility triangles per Section 16.40.160 are met as well complying with visibility for pedestrians and vehicle safety.



9. The mass of the new construction in relation to open spaces, the windows, door openings, porches and balconies shall be visually compatible with contributing resources in the district.

Response: the mass of the new construction in relation to open spaces, the windows, door openings, porches and balconies are visually compatible with the contributing resources in the district by the strict application of the Craftsman Style of architecture and the design of a 1-1/2 story structure rather than a 2-story structure. The Craftsman design mitigates and relates its mass through smart design that deconstructs the building into more compatible scale and massing. This creative and smart approach was both suggested and commended at the Historic Review Workshop dated 9.23.22). This mitigation reduces the exterior visual impact of mass through a creative yet difficult to achieve 1 ½ -story Craftsman Style design home rather than a simple two-story stacked floor approach. The principal structure roof eave is only at 11'-10" above grade a height very compatible with 1-story homes. The second-floor bedrooms are placed within small front and centered shed dormers at only 13'-8" wide. The shed dormer width is considerably less than the maximum 16'-0" wide dormer the city staff required during staff workshop for compatibility and relation to open space. This choice and application of shed dormers rather than gable dormers and lower ceiling heights to accomplish a 1-1/2 -Story Craftsman home creates a visual appearance lower in massing which in turn is visually compatible with the contributing resources. Another form of the mass of the new construction in relation to opens spaces is that a good amount of the total square footage (41% or 1,319 Total SF) is dedicated to the rear of the property both in the detached garage and the accessory dwelling unit above it. The mass along with the symmetrical placement of windows, door, porches, and openings makes the visual appearance of a 1-story mass structure with its 1-1/2 story Craftsman style approach.



10. The new construction shall be visually compatible with contributing resources in the district in its orientation, flow, and directional character, whether this is the vertical, horizontal, or static character.

Response: The new construction orients its front façade to 3rd avenue north in a horizontal directional character. The 1-1/2 Story Craftsman design creates a welcoming directional flow of deep recessed covered porch, typically found in the contributing district. The shed roof dormer along the front façade animates the façade centering over the front entry door at the porch and aligning with the walkway approach. The façade along 21st Street is animated vertically with a chimney stack symmetrical dividing both the front and rear of the home covered porches.

11. New construction shall not destroy historic materials that characterize the local landmark or contributing property to a local landmark district. The new construction shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the local landmark and its environment, or the local landmark district.

Response: The new construction shall not and does not destroy historic material – the new construction differentiates itself from the old as stated in the Historic Guidelines page 130 “The design of the new building should relate to the architectural styles surrounding the site. While the new structure should be a product of its own time, it should incorporate design elements of the primary architectural style or styles prevalent with the immediate contest and that of St. Petersburg. The proposed new structure under the guidance of Craftsman Style incorporates design elements found within the Craftsman Style as noted on pages 46-51 of the Historic Guidelines and as mentioned in the above criteria.



12. New construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the local landmark and its environment would be unimpaired.

Response: NA

End.

Sergio DeSanto, AIA, Principal
Renker Eich Parks Architects

Appendix B:

Maps of Subject Property

DARTMOUTH AVENUE

Kenwood Section
– Southeast Kenwood Local Historic District

4TH AVENUE

22ND ST N

20TH ST N

3RD AVENUE N

21ST ST N

BURLINGTON AVENUE N

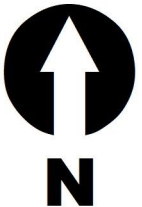


Community Planning and Preservation Commission

2101 3rd Ave N

**AREA TO BE APPROVED,
SHOWN IN** 

**CASE NUMBER
22-90200119**



**SCALE:
1" = 150'**

DARTMOUTH AVE N

Kenwood Section
- Southeast Kenwood Local Historic District

4TH AVE N

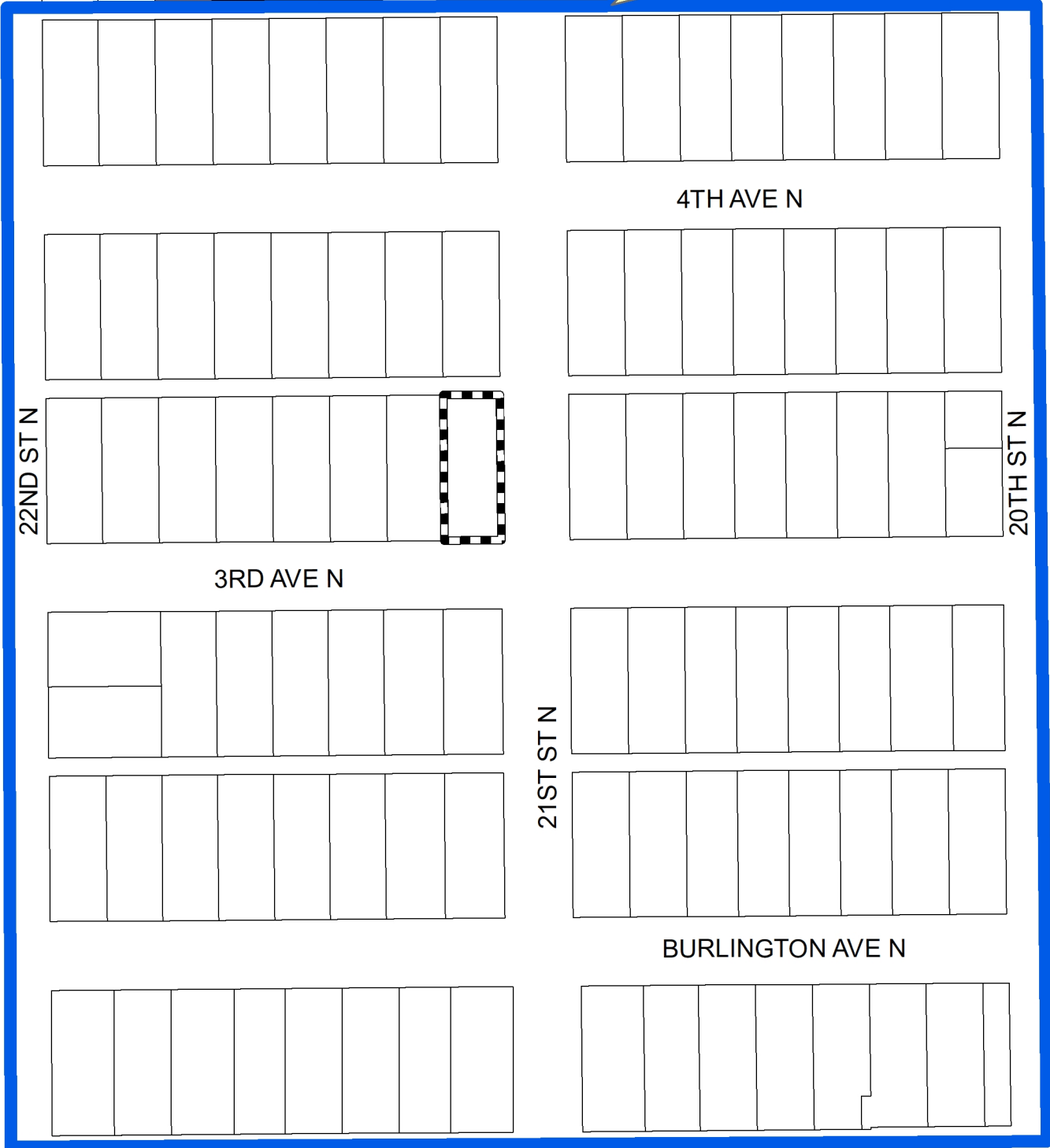
22ND ST N

20TH ST N

3RD AVE N

21ST ST N

BURLINGTON AVE N

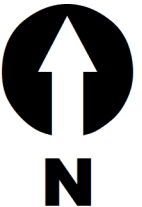


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